

Chapter 11-07

APPLICATION REQUIREMENTS AND PROCEDURES - DESIGN REVIEW COMMITTEE AND HISTORIC PRESERVATION COMMISSION

Sections:

11-07-01	PURPOSE
11-07-01.01	Applicability and Application Requirements
11-07-02	APPLICATION CONTENT
11-07-02.01	Procedures
11-07-02.02	Public Hearing Required
11-07-03	DESIGN REVIEW OBJECTIVES, CONSIDERATIONS AND GUIDELINES
11-07-03.01	Objective - Site Design
11-07-03.02	Objective - Structure Design
11-07-03.03	Objective - Adopted Plans and Design Guidelines
11-07-04	LIMITATIONS OF COMMITTEES
11-07-05	SPECIAL DESIGN CRITERIA DISTRICTS
11-07-06	APPEAL
11-07-06.01	Action by the Commission
11-07-06.02	Action by the Council
11-07-07	TERM OF APPROVAL
11-07-08	MODIFICATIONS
11-07-09	CAPITOL BOULEVARD SPECIAL DESIGN DISTRICT
11-07-09.01	Purpose and Authority
11-07-09.02	Boundaries of the District
11-07-09.03	Interpretation/Allowed Uses
11-07-09.04	Design Review Permit Required
11-07-09.05	Design and Development Standards
11-07-09.06	Appeals
11-07-10	HISTORIC STREET LIGHTS
11-07-10.01	District Locations
11-07-10.02	Criteria for Requesting a New or Expanded Historic Light District
11-07-10.03	Installation and Maintenance Criteria
11-07-10.04	Established Lighting Districts
11-07-10.05	General Spacing Requirements

Section 11-07-01 PURPOSE

The design review overlay districts ("D", "DD" and "HD") have been established in order to protect property rights and values, enhance the visual quality of the City, enhance important environmental features of the City and assure that the appearance of buildings and site improvements are consistent with the goals, objectives and policies of the Boise City Comprehensive Plan and other adopted plans and design guidelines. To accomplish said objectives, it shall be the purpose of the design review process to coordinate design input from other agencies and to review site design, landscape design and structure design per the objectives, findings, considerations and guidelines contained within this Chapter. (6156, Amended, 06/04/2002; 5919, Amended, 07/28/1999; 5907, Amended, 04/02/1999)

Section 11-07-01.01 Applicability and Application Requirements

Any visible exterior improvement to a site, building, or structure (including new facilities, remodeling, rehabilitation projects and expansion projects) within a D, HD, or DD overlay zoning district shall require the submittal of a Design Review application and fee. The Planning Director shall determine whether the application shall be processed at the administrative level or Committee level. The Design Review Committee and the Historic Preservation Commission are hereby referred to as the Committees.

The Planning Director may issue Design Review approval in the form of a zoning certificate or as part of a building permit for the following types of work, or similar work as determined by the Planning Director:

- accessible spaces and ramps
- automated teller machine modifications/additions
- awnings and canopies
- building additions or accessory buildings less than 200 square feet
- minor landscape or parking lot revisions
- painting
- patios/decks
- penthouse additions/modifications
- roof/fascia changes
- window/door overhead door modifications

In all but the H and HD overlay districts, detached single family residential uses are exempted from the requirements of this chapter. Accessory single family residential parking areas containing more than three parking spaces within D overlay districts shall be subject to administrative-level Design Review.
(6156, Added, 06/04/2002)

Section 11-07-02 APPLICATION CONTENT

All Design Review applications shall include, as a minimum, the following information: appropriate architectural and site development plans to scale showing building locations, landscaping, on-site lighting, permanent existing trees, ground treatment, fences, off-street parking and traffic circulation, location and size of adjacent streets, north arrow and property lines, drawings of exterior elevations, building materials and proposed color scheme, existing grade and proposed new grades. While signs are not required to be reviewed as part of a Design Review application, unless otherwise directed, the City encourages the applicant to submit such information to resolve possible sight obscuring conflicts between signs and trees.

Design Review applications that are for building additions greater than 200 sq. ft. and for new buildings greater than 200 sq. ft. in "D" and "DD" overlay zones shall be prepared by, or under the immediate and responsible direction of a duly licensed architect and shall be clearly identified on such designs, unless exempted under Idaho Code, Section 54309(2), which states:

- A. The practice of engineering or any other profession or trade for which a license is required under any law of this state, or the practice of consultants, officers, and employees of the United States while engaged solely in the practice of architecture for said government.
- B. Draftsmen, students, clerks of work, project representatives, and others working under the supervision of those lawfully practicing as architects under the provisions of this chapter from acting under the instruction, control, or supervision of their supervisors, or to prevent the employment of clerks of work or inspectors of buildings paid by the owners from acting, if under

the control or direction of a licensed architect who has prepared the drawings and specifications for the building.

- C. The rendering of any architectural service required in the erection, enlargement, alteration, or repair of any building, where such building is to be, or is used as, a single or multiple family residence not exceeding two (2) stories in height, or as a farm building; or for the purpose of outbuildings or auxiliary buildings in connection with such residential or farm premises.
- D. The rendering of any architectural service required in the erection, enlargement, alteration, or repair of any building which does not involve the public health or safety.
- E. The preparation of shop drawings by persons other than architects for use in connection with the execution of their work; or the preparation of drawings of fixtures, or other appliances or equipment, or for any work necessary to provide for their installation.
- F. Expert consultation rendered to an architect by a consultant, whether licensed or not, employed by the architect to consult, advise and assist as long as the architect approves, adopts and is responsible for the results of such consultation, advice and assistance.
- G. An intern working under the supervision of a licensed architect, including the use of the title "architectural intern", as may be established and limited by board rule.

While it is required to have a licensed architect prepare a building design for a Design Review application, the City encourages the applicant to utilize other professions that may pertain to their project in order to provide the relevant information for the review process, such as a licensed engineer, licensed land surveyor, licensed landscape architect, etc. There may be a legal requirement to utilize such licensed professionals for certain aspects of a Design Review application, such as establishing property lines, geotechnical data, traffic studies, hillside grades, storm drainage, etc. The applicant is responsible for determining when such professional engineering is needed.

(6381, Amended, 01/18/2005; 6253, Amended, 08/05/2003; 6156, Amended, 06/04/2002; 5821, Amended, 10/28/1997)

Section 11-07-02.01 Procedures

The application procedures within the overlay districts shall be in accordance with Section 11-05-14 for Administrative Review or as follows for Committee level review:

- A. "D" District: Every person requesting Design Review approval at the Committee level shall submit an application to the Planning Director for evaluation and scheduling before the Design Review Committee. The application shall be scheduled at the next Committee hearing following the cut-off date prior to which the application was submitted. The Planning Director may extend the review time for Design Review applications that are unusually large or complicated.
- B. "DD" District: The "DD" zoning district overlays a portion of the downtown area of the City. Every person requesting Design Review approval at the Committee level shall submit an application to the Planning Director for evaluation and scheduling before the Design Review Committee. Applications for projects within the "DD" district shall include written comments from the Capital City Development Corporation (CCDC).
- C. "HD" District: Every person requesting Design Review approval within the "HD" district at the Committee level shall submit an application to the Planning Director for evaluation and

scheduling before the Historic Preservation Commission. The application shall be scheduled at the first Commission meeting following the cut-off date prior to which the application is submitted.

1. The applicant shall hold a meeting which provides the public an opportunity to review the proposed project. This meeting shall be held not more than six months nor less than three calendar days prior to submittal of the application. The applicant shall notify and invite to the meeting, residents and owners of property within 300 feet of the exterior boundary of the application parcel and the registered neighborhood association. The notice of this meeting may be mailed or hand-delivered to the recipient. If mailed, the notice shall be postmarked a minimum of seven calendar days prior to the meeting date. If hand-delivered, the applicant must deliver the notice a minimum of five days prior to the meeting date. Verification of a meeting, or that an opportunity for a meeting was provided, shall be submitted in writing by the applicant to the Planning Division. The Planning Director may modify or waive any or all of this requirement for minor projects that he/she determines are not complex and have little potential to substantially impact surrounding properties.

(5919, Amended, 07/28/1999;. 5907, Amended, 04/02/1999; 5233, Amended, 05/08/1990)

Section 11-07-02.02 Public Hearing Required

The "Committees" shall advertise in accordance with Section 11-3-6.1 and conduct a public hearing in accordance with Section 11-3-6.4 for each application to be heard by the Committee. Direct mailed notice shall be provided to the applicant and to the registered neighborhood association and to each property owner, purchaser of record or resident within the land being considered and within 300 feet of the external boundaries of the land being considered at least 15 days prior to the public hearing. For applications, including exceptions to the Sign Ordinance and signs for which no regulation exists, said direct mailed notice shall be expanded to include a 300' radius around the subject site.

(6554, Amended, 03/20/2007; 5735, Amended, 06/25/1996; 5386, Amended, 04/14/1992; 5233, Amended, 05/08/1990; 5211, Added, 01/16/1990)

Section 11-07-03 DESIGN REVIEW OBJECTIVES, CONSIDERATIONS AND GUIDELINES

The following described objectives and considerations shall be applied to each application presented to the "Committees" for the purpose of determining whether the application complies with the purpose of this Section as previously stated.

(6156, Amended, 06/04/2002;. 5907, Amended, 04/02/1999)

Section 11-07-03.01 Objective - Site Design

The proposal shall be reviewed by the "Committees" to determine compatibility and impact both on and adjacent to the site as it relates to access, landscaping, grading and storm drainage, and other non-principal structure development of the site. The "Committees" may, in order to make such findings, require improvements such as curb cuts, gutter, street lighting and sidewalks.

The decision of the "Committees" with regards to site design shall be based upon one or more of the following findings:

- A. Finding: That the site plan minimizes impact of traffic on adjacent streets and that the pedestrian

and bicyclist has been provided for by requiring sidewalks, paths, micro-pathways, landscaping and safe parking lot design as appropriate.

Considerations relative to Finding A.:

1. Functional relationship of the structures and the site in relation to its surroundings;
 2. The impact and effect of the site development plan on traffic conditions on contiguous streets and adjoining properties or neighborhoods;
 3. The layout of the site with respect to separation or integration of vehicular, pedestrian and bicycle traffic patterns;
 4. The arrangement and adequacy of off-street parking facilities relative to access points, building location and total site development to prevent traffic conflict or congestion;
 5. The location, arrangement and dimensions of truck loading ramps, docks and bays and vehicle service facilities;
 6. The access, parking lot, interior roadway and adjacent street layout and illumination plans and hours of operation;
 7. The required driver, pedestrian and bicycle sight distance requirements of the project and their relationship to adjacent streets and properties;
 8. The coordination of the site development with planned right-of-way alignments, acquisitions and street improvements;
 9. The graphic delineation of traffic circulation patterns to avoid confusion, congestion and conflicts;
 10. The continued maintenance of traffic, parking and lighting systems; and
 11. The protection of views and vistas in relation to urban design and aesthetic considerations.
 12. Private streets may be utilized but must meet the standards and requirements for private streets and be approved by the Boise City Public Works Department.
- B. Finding: That the proposed site's landscaping screens are adequate to protect adjacent uses, provide sound and sight buffers and can be adequately maintained; slope and soil stabilization have been provided for; and, that unsightly areas are reasonably concealed or screened.

Considerations relative to Finding B.:

1. The location, height and materials of walls, fences, hedges and screening plantings to insure harmony with adjacent developments;
2. The planting of shade trees and the unnecessary destruction of existing trees and landscape features;

3. The providing of setbacks, screening plantings or other screening methods reasonably required to conceal outdoor storage areas, trash receptacles, exposed machinery installation, service areas, truck loading areas, utility buildings and installations and similar accessory areas or other unsightly developments;
4. The planting of ground covers or shrubbery to prevent dust, to stabilize soils and embankments and to control erosion;
5. The installation of sound and sight buffers, the preservation of public views, light and air, the consideration of those landscape aspects of design which may have substantial effects on neighborhood development, land uses and amenities;
6. The design and use of open space, water amenities, reflecting ponds, fountains, dry stream beds, open spaces and rock out-croppings; and
7. The permanent maintenance of landscaped areas.

- C. Finding: That on-site grading and drainage have been designed so as to minimize off-site impact and provide for erosion control.

Considerations relative to Finding C.:

1. The existing and proposed grading relative to soil removal, fill work, retainage, soil stabilization, erosion control on the site and the adjacent terrain and streets, and adoption of the development to the existing site contours;
2. Existing and proposed storm drainage ways, canals, floodways and flood plains relative to flow or alignment alterations, containment and endangerment of health.
3. The maintenance of floodways, flood plains, drainage ways, channels, culverts, headgates, canals and soils.

- D. Finding: That signing for any proposed project provides for business identification and minimizes clutter and confusion on and off the site, and is in compliance with Boise City Code sign provision.

Considerations relative to Finding D.:

1. The "overall sign concept" for commercial centers should address the continuity between tenant and visual building identification;
2. The reduction of hazards to motorists, bicyclists and pedestrians as may be caused by or partially attributable to the distraction and obstruction of improperly located and designed signs;
3. The provision for effective and necessary business identification systems adapted to the building design;
4. The continued maintenance of signs throughout their life; and

5. The size, location, design, color, texture, lighting, landscaping and hours of operations of all permanent signs and outdoor advertising structures or features shall not detract from the function of, or design of buildings, structures and the surrounding properties, neighborhoods or street development plans.
- E. Finding: That utility service systems do not detract from building design and that size and location of all service systems are appropriate and maintainable.

Considerations relative to Finding E.:

1. Electrical and telephone service systems shall be installed underground.
 2. The location, design and screening of transformers and pad-mount mechanical and electrical equipment;
 3. The locations and sizes of all utility lines, manholes, electrical and telephone service poles, underground cables, gas lines, well and similar installations; and
 4. The continued maintenance of these required service systems.
- (6156, Amended, 06/04/2002)

Section 11-07-03.02 Objective - Structure Design

The design (architecture) of all principal buildings proposed in the "D", "HD" and "DD" districts shall be reviewed in accordance with the following considerations, which shall be included in the Committee's findings supporting its decision:

- A. Building Mass: The mass of the building should be reviewed for its relationship and consistency with existing development in the immediate surrounding area and with the allowed use proposed by the applicant;
- B. Proportion of Building Facades: The height to width relationship of new structures shall be compatible and consistent with the architectural character of the area and the proposed use;
- C. Relationship of Openings in the Facades: Openings in the facade shall be consistent with the architectural character of the area (for example, balconies, bays and porches are encouraged with a minimum of monotonous flat planes), to provide shadow relief; and
- D. Relationship of Exterior Materials: To determine the appropriateness of materials as it relates to building mass, shadow relief and existing area development; use of color to provide natural blending of materials with the surrounding area, shadow relief and building use; the functional appropriateness of the proposed building design as it relates to the proposed use.
- E. Multiple family building (any building containing more than 2 residential units) must be designed to include features which add to the visual and aesthetic appearance of the structure and help prevent a sterile, box-like appearance. Such features may include the use of brick or stone, roof or facade modulation, planter boxes, bay windows, balconies, porches, etc. The commission or committee must make a finding that specific design features have been added to enhance the physical appearance of such multiple-family residential structures.

- F. Commercial/industrial buildings adjacent to residential uses: That the building is designed to minimize impacts on adjoining (including across a street or alley) residential uses and/or residential zones.

Relevant Considerations:

1. Overhead doors for service and/or repair activities and loading activities are located at the side of the building most opposite to any residential neighborhood/dwelling or residential zone, unless it can be demonstrated that there are no other viable options and there will be mitigation through use of walls, berms, landscaping, etc.
2. Building walls that face residential uses or zones provide visual interest through use of a variety of materials/compatible colors, fenestration (wall openings), roof line variations, wall modulation and/or other architectural method which will minimize blank walls.
3. Wall lights facing any residential use or zone are shielded to prevent glare or light fall on the adjacent property. The "committees" may require a reduction in height of the lights on the building, or footcandles, if it is determined that the proposed lights will have a negative impact on th adjoining properties.
4. Mechanical equipment on the roof, or adjacent to the building, shall be located in areas that are furthest away from residential uses or zones, unless it can be demonstrated that there will not be visual and/or noise impacts on the adjacent properties due to screen walls, equipment design or other factors.

(5795, Amended, 04/22/1997)

Section 11-07-03.03 Objective - Adopted Plans and Design Guidelines

In addition to Sections 11-07-03.01 and 11-07-03.02, all applications shall be reviewed in accordance with adopted plans and design guidelines. Design guidelines may include, but shall not be limited to, regulations of landscaping, streetscapes, parking lot design, structure design and signs. The Committees may develop and recommend to the Boise City Planning and Zoning Commission design guidelines for City Council adoption by resolution.

The Committees shall find that the design of the project is consistent with the following plans and guidelines that apply to the property:

- A. Boise City Comprehensive Plan (including neighborhood plans)
- B. Design Guidelines for Boise City's Historic Districts (HD districts only)
- C. Design Review Guidebook
- D. 1993 Downtown Boise Plan

Special considerations relative to the Downtown Boise Plan include, but are not limited to:

1. Design amenities provided comply with adopted downtown design district priorities.

2. Site design, arrangement of buildings and amenity features enhance the pedestrian orientation of the downtown area where appropriate.
 3. The design of the site and building(s) contributes to the intended intensity of activity and uses for the downtown area.
 4. Site design, arrangement of buildings and amenity features promote personal safety and social interaction.
- E. Urban Renewal Plans, including, but not limited to:
1. River Street – Myrtle Street Urban Design Plan
 2. Westside Downtown Urban Renewal Plan
 3. Boise Downtown Urban Design Plan and Elements of Continuity (to apply in the Central District for the eight block area bounded by Bannock Street on the north, Front Street on the south, Capitol Boulevard on the east and 9th Street on the west)
(6156, Amended, 06/04/2002; 5691, Amended, 12/27/1995; 5644, Amended, 07/11/1995; 5592, Amended, 12/06/1994; 5547, Amended, 06/14/1994; 5464, Amended, 06/29/1993)

Section 11-07-04 LIMITATIONS OF COMMITTEES

- A. The Committees are specifically prohibited from requiring reduction in density, reduction in floor area ratio or other general bulk regulations which cannot specifically be shown to be required by reason of public safety, health or destruction or diminution of property values. Unless the proposed structure is determined to be detrimental to health, safety or adjoining property values, the "Committees" shall not require reduction in building height or floor area ratio to less than that allowed in the respective use district, except for as allowed per Section 11-04-14 for development on substandard original lots of record.
- B. Denial of a design review permit or approval of a design review permit with conditions unacceptable to the landowner may be subject to the regulatory taking analysis and procedures provided for in Section 11-08-03 of this ordinance.
(6461, Amended, 04/04/2006; 6281, Amended, 12/02/2003)

Section 11-07-05 SPECIAL DESIGN CRITERIA DISTRICTS

The Committees may develop and recommend to the Boise City Planning and Zoning Commission for City Council adoption special design criteria districts which describe additional requirements relating to bulk and design regulations to be imposed or which establish design standards for specific uses, types of uses, parking standards parking standards, streetscapes or other similar items. Where a special district has been adopted, it shall be designated on the zoning maps.

11-07-05.1. Capitol Boulevard Special Design District - See Section 11-07-09.
(5892, Amended, 01/19/1999)

Section 11-07-06 APPEAL

Any action of the Design Review Committee may be appealed to the Planning and Zoning

Commission in accordance with Section 11-3-7.3 of this Ordinance. Decisions of the Historic Preservation Commission must be appealed to the Boise City Council in accordance with Section 11-3-7.2.
(5907, Amended, 04/02/1999)

Section 11-07-06.01 Action by the Commission

- A. Within ten (10) days after receipt of an appeal, the Planning Director shall fix a date for a public hearing of the appeal before the Commission and notify the appealing party and the applicant, with no further notification being required. Whenever the "Committees" shall disapprove an application, or approve an application with conditions unacceptable to the applicant, the applicant or a representative shall have the right to appeal and be heard before the Commission. Whenever the Design Review Committee shall approve an application either wholly or with conditions, any aggrieved party or the Planning Director shall have the right to appeal and be heard before the Commission. The basis of the appeal may include, but is not limited to the following.
1. Inconsistency with the purpose and objectives of the ordinance as defined herein;
 2. Unreasonable economic hardship;
 3. Undue interference with the design integrity of the proposal;
 4. Discriminatory prevention of allowed land use;
 5. Consideration by the Design Review Committee of improper motive or irrelevant information such as the race, ethnic origin, incomes, or other attributes of the proposed occupants or owners;
 6. Prohibition or unwarranted restriction of building type, material, or method.
- B. The Planning and Zoning Commission may, on appeal, affirm, affirm with conditions and limitations, reverse, or remand to the "Committees" with instructions.

Section 11-07-06.02 Action by the Council

Decisions of the Historic Preservation Commission may be appealed to the Council in accordance with Section 11-3-7.2 and the following procedures:

- A. Within ten (10) days after receipt of an appeal, the Council shall fix a date for a public hearing of the appeal and notify the appealing party and the applicant, with no further notification being required. Whenever the Historic Preservation Committee shall apply disapprove an application, or approve with unacceptable conditions to the applicant, the applicant and/or his/her representative shall have the right to appeal and be heard before the City Council. Whenever the Historic Preservation Commission shall approve an application either wholly or with conditions, any aggrieved party or the Planning Director shall have the right to appeal and be heard before the City Council. The basis of the appeal may include, but is not limited to the following:
1. Inconsistency with the purpose and objectives of the ordinance as defined herein;

2. Unreasonable economic hardship;
 3. Undue interference with the design integrity of the proposal;
 4. Discriminatory prevention of allowed land uses;
 5. Consideration by the Historic Preservation Commission of improper motive or irrelevant information such as the race, ethnic origin, incomes, or other attributes of the proposed occupants or owners;
 6. Prohibition or unwarranted restriction of building type, material, or method.
- B. The City Council may, on appeal, affirm, affirm with conditions and limitations, reverse, or remand to the Historic Preservation Commission with instructions.
(5691, Amended, 12/27/1995)

Section 11-07-07 TERM OF APPROVAL

The term of approval, shall not exceed two years. The Committees may grant up to two 2-year extensions. Design Review approvals are automatically extended when an associated conditional use or planned development is extended. The Committees may also set a term within which the project must be completed. That term shall not be less than six years.
(6801, Amended, 02/08/2011; 5691, Amended, 12/27/1995; 5233, Amended, 05/08/1990)

Section 11-07-08 MODIFICATIONS

After approval of a Design Review Permit, the applicant may request a modification(s) to the approved development plans or conditions. Such request shall be made upon an application form prescribed by the Planning and Development Services Department. (Amended by Ord. 5233, 5-8-90)

- A. Administrative Approvals: The Committee may delegate to the Planning Director authority to consider modifications as specified below:
1. Modifications proposed for any development application processed as an Administrative Design Review in accordance with Section 11-5-14.
 2. Relocation of building pads or dwelling units for some practical reasons such as topography, road alignment or easements; provided that the modification does not significantly alter the site design in terms of parking layouts, vehicular circulation, landscape design and other similar components of the development plans.
 3. An increase or decrease in a proposed setback provided ordinance requirements are still met.
 4. A change in building design relating to items such as materials, colors, window and door locations and mechanical units, provided the design remains essentially the same as that previously approved by the Committee.
 5. A modification to a recreation area or open space design, but not elimination or a significant reduction.

6. A change in landscape design/plant types or minor parking lot/site revisions.
 7. Notice Requirement for Staff-Level Modifications of Design Review Applications: The Planning Director shall determine if the staff-level modification is significant and could have an impact on adjacent properties. If the modification is determined to be significant, staff shall send a copy of the approval letter to all adjacent property owners and residents (including those across a street or alley) informing them of the decision and of their right to appeal. The appeal period shall be ten (10) calendar days from the date notice is mailed.
- B. Committee Approvals: The following modifications shall require approval from the Design Review Committee:
1. Any change that may impact an adjoining residential neighborhood.
 2. Any change that was the subject of debate or appeal during the initial public hearing process.
 3. Any request that in the opinion of the Planning Director would significantly alter the design of the site and/or building(s).
 4. A request to change or delete a condition of approval established by the Committee. This shall not include any condition that is an ordinance requirement for which the Committee is not given the authority to modify.
 5. The Planning Director may refer any modification request to the Committee if in his/her opinion the change is significant or could be best reviewed by the Committee.
- C. Appeals: Appeals of the administration actions shall be in accordance with the procedures set forth in Section 11-5-14.2. Appeals of Committee level actions shall be in accordance with the procedures set forth in Section 11-7-6.
(5907, Amended, 04/02/1999; 5895, Amended, 02/23/1999; 5795, Amended, 04/22/1997)

Section 11-07-09 CAPITOL BOULEVARD SPECIAL DESIGN DISTRICT

Section 11-07-09.01 Purpose and Authority

Capitol Boulevard is one of the principal gateway streets in the State of Idaho. It links two of the most important historic buildings in the City - the State Capitol and the Boise Depot. In between these buildings lie a variety of uses that are of importance to the community and visitor, including cultural centers and parks, Boise State University, hotels, retail establishments and restaurants. The Boulevard leads to the downtown core which is unique in its blending of new and historic buildings. A street such as this is deserving of special treatment to recognize its importance to the Capitol City.

The Capitol Boulevard Special Design District is hereby adopted by the Boise City Council under the Authority of Section 11-7-5, Boise City Code, Special Design Criteria Districts, for the purpose of:

- A. Implementing the following objectives of the 1989 Capitol Boulevard Plan and Action Program,

prepared by the Idaho Chapter of the American Institute of Architects.

- * Transforming Capitol Boulevard into a true "Boulevard," a "broad city avenue having a park-like appearance, with areas at the side or center for trees, shrubs, lawn, and flowers" which is what Boise's original founders envisioned.
- * Enhancing the appearance of Capitol Boulevard to motorists entering the Capitol City as well as to encourage pedestrian and bicycle use of the boulevard by improving comfort, safety and security.
- * Establishing a system of identification for places of civic interest adjacent to Capitol Boulevard, including the Boise River Greenbelt, art and historic museums, library, Boise State University campus, Morrison Center, Eighth Street Marketplace, Old Boise, and the downtown.
- * Strengthening the visual tie between the two main historical buildings on Capitol Boulevard, namely, the State Capitol and the Railroad Depot.
- * Providing a mixture of commercial and cultural activities along the boulevard that will attract a wide variety of people, transforming the boulevard into an attractive and pleasant place for property owners and visitors alike.

B. Implementing Goals, Objectives and Policies of the Boise City Comprehensive Plan.

Chapter 7.0/Community Quality

7.2 Community Design - Gateways

Strengthen the visual character of the city's gateways to clarify the city's structure and improve city wide identity. (Obj. 7)

Policies

- 1) Coordinate with appropriate agencies to implement Gateway Treatments for the corridors identified in the 2015 Regional Transportation Plan. (Note: Chapter 14, 2015 Plan identifies Capitol Boulevard as the Ceremonial Entryway into Boise.)
- 3) Require a consistent design theme and/or landscape design character along the community's corridors, reflecting the unique qualities of each district.
- 6) Pursue adoption of a corridor plan for Capitol Boulevard.
- 9) Develop a consistent and well-designed program of public informational signage.

Chapter 8.0/Land Use

Land-use and development policies specific to the Downtown area shall include the following (Obj. 17):

- 11) Street level pedestrian activity shall be specifically enhanced through the design and

orientation of new buildings and parking facilities and the addition of streetscape amenities.

- 13) New parking facilities in the Downtown shall comply with the principles of "New Urbanism." Specifically, CBD [Central Business District] parking shall be located in above or below-grade structures whenever possible and incentives established to achieve this result. New surface parking shall be located in block interiors or buffered to avoid exposure to the street frontage.

C. Implementing Goals, Objectives and Policies of the Downtown Boise Plan.

GOAL 10: City zoning, land use, and design decisions should conform to the adopted land use plan map and special design districts for the downtown planning area. (Note: Capitol Boulevard is mapped as a "Special Design District" in the Downtown Boise Plan.)

D. Implementing Goals, Objectives and Policies of the River Street - Myrtle Street Urban Design Plan, adopted by City Council on December 6, 1994.

Eighth Street Area (including Capitol Boulevard)

Principal Guidelines:

"Distinguish a hierarchy of downtown streets through appropriate design instruments:

- * Provide a Special Urban Parkway treatment at Capitol Boulevard similar to Myrtle and Front streets yet incorporating the recommendations of the Capitol Boulevard Plan."

(5892, Added, 01/19/1999)

Section 11-07-09.02 Boundaries of the District

The boundaries of the district shall be as designated on the attached map marked "Exhibit A". This includes the public right-of-way of Capitol Boulevard; and

North of the Boise River to, and including, the State Capitol: Properties located wholly or partially within one block of Capitol Boulevard to the east and west, or 350' from the curb line of Capitol Boulevard where no streets exist, and

South of the Boise River to, and including, the Depot;

East side of Capitol Boulevard: Properties located wholly or partially within 500 feet of the curb line of Capitol Boulevard, and as projected in a straight line south to the railroad tracks at the Depot.

West side of Capitol Boulevard: Properties located wholly or partially within the area west of Capitol Boulevard from the Boise River southeast along the centerline of Lusk Street, 1,275', more or less, to the centerline of Sherwood Avenue, thence southwest along the centerline of Sherwood Avenue, 325', more or less, to the centerline of LaPointe Street, thence Southeast 600', more or less, to a point that is 500' from the curb line of Capitol Boulevard at the extension of the centerline of Yale Street, thence south along a line that is 500' from the curb line of Capitol Boulevard to the centerline of Crescent Rim Drive, thence southeast 198 feet, more or less, along the centerline of Crescent Rim Drive to the centerline of Eastover Terrace, thence south along the centerline of eastover Terrace 368 feet, more or less, to the

railroad tracks at the Depot.

The District is divided into four areas, each which may have different design standards as set forth within this Ordinance. These areas are designated on the attached map marked "exhibit B", and are as follows:

Downtown Corridor: Both sides of Capitol Boulevard from centerline of Front Street, north to the centerline of State Street.

Central Corridor: Both sides of Capitol Boulevard from centerline of Front Street, south to the Boise River.

Entrance Corridor: East side of Capitol Boulevard from the Boise River to the Depot.

Exit Corridor: West side of 9th Street and Capitol Boulevard from the Boise River south to the Depot.

(5908, Amended, 04/06/1999; 5892, Added, 01/19/1999)

Section 11-07-09.03 Interpretation/Allowed Uses

This District is supplementary to the underlying Land-Use District. Permitted/prohibited uses shall be as specified in the underlying zone. If conflict arises between the Capitol Boulevard Special Design District and the underlying Land-Use District, the requirements of the Capitol Boulevard Special Design District shall prevail.

(5892, Added, 01/19/1999)

Section 11-07-09.04 Design Review Permit Required

Within the Capitol Boulevard Special Design District (designated with a "C" at the end of the base zone) all public and private development proposals shall be required to comply with the regulations of this ordinance as part of a design review submittal (regardless of the zone designation) when doing one or more of the following:

- A. Adding on more than 10% of the original square footage of a building, or expanding the square footage of an existing parking lot by more than 25%.
- B. Replacing more than 25% of an existing building, regardless of cause.
- C. Any new building or parking lot.
- D. Facade remodels which utilize different materials and/or design features/locations than what is existing. Examples may include: fascia changes to a different material, changes in fenestration, changes in wall materials, etc. A color change alone would not require compliance with this ordinance, nor non-permanent features such as fabric awnings.

All other improvements to a building or site not covered above are still required to comply with all other requirements of the Boise City Code.

All applications for Design Review shall be submitted for approval in accordance with the application content/hearing procedures of the Boise City Code. In Zones with a "C" or "DC" designation behind the base zone, approvals shall be granted by the Design Review Committee. In zones with an "HDC"

designation, approvals shall be granted by the Historic Preservation Commission with input from the Design Review Committee. In zones with a "DDC" designation, approvals shall be granted by the Design Review Committee with input from the Capital City Development Corporation.
(6096, Amended, 10/23/2001; 5892, Added, 01/19/1999)

Section 11-07-09.05 Design and Development Standards

In addition to the requirements of this section, the Findings and Considerations of Section 11-07-03, Boise City Code shall apply.

- A. Streetscape Requirements: Streetscape improvements, as outlined below, shall be required and shown on the development plans when doing (1) Construction of a new building or parking lot; (2) Construction of an addition greater than 30% of the original square footage of the building, provided the addition is greater than 2,500 sq. ft. gross floor area; and/or (3) Construction of a parking lot addition along Capitol Boulevard that is greater than 50% of an existing parking area.
1. For the Downtown Corridor (Jefferson Street to Front Street) – streetscape improvements shall be consistent with the Streetscape Master Plan (Exhibit C attached - larger plan on file in the Planning and Development Services Department), unless otherwise indicated below. Improvements include, but are not limited to:
 - a. Existing downtown brick streetscape shall remain along the west side of Capitol Boulevard from Bannock Street to Front Street.
 - b. Streetscape upgrades consistent with the “Urban Sidewalk – Brick” prototype (Exhibit D attached) along the east side of Capitol Boulevard from Bannock Street to Front Street shall be considered at the time of application review.
 - c. 10’ wide detached sidewalk and 9’ wide landscape strip adjacent to the street, with street trees, shrubs and historic street lights along both sides of Capitol Boulevard from Bannock Street to Jefferson Street.
 2. For the Central Corridor along both sides of Capitol Boulevard from Front Street to River Street - streetscape improvements shall reflect the Streetscape Prototype Design (Exhibit E attached). Improvements include, but are not limited to:
 - a. Relocated curb to form a 52’ wide road section (curb to curb).
 - b. Sidewalks with brick dry laid pavers.
 - c. Planters with street trees, shrubs and low steel fencing (Exhibits F & G – 6 & 8 attached).
 - d. Furnishing zone with historic street lights (Exhibit G - 1 attached).
 - e. Benches, litter receptacles, movable planters, bicycle racks, & news stands (Exhibit G – 2, 3, 4, 5 & 7 attached). Note that the final number and location of these furnishings shall be determined by the Capital City Development Corporation at the time of application review.

- f. Kiosks, public art and transit stops may be considered at the time of application review.
3. For the Central Corridor along both sides of Capitol Boulevard from River Street to the Boise River – streetscape improvements shall be consistent with the Streetscape Plan South of River Street (Exhibit H attached). Improvements include, but are not limited to:
 - a. Relocated curb to form a 52’ wide road section (curb to curb).
 - b. Concrete sidewalks.
 - c. Landscape strips with lawn and street trees.
 - d. Historic street lights.
 4. For the Entrance and Exit Corridors (Boise River to the Depot) – streetscape improvements shall be consistent with the Streetscape Master Plan (Exhibit C attached). Improvements include, but are not limited to:
 - a. Concrete sidewalks.
 - b. Landscape strips with lawn and/or shrubs and street trees.
 - c. A second row of deciduous trees.
 - d. Historic street lights.
 - e. Bus stop shelters at select locations.
 5. Completion of Streetscape Improvements: Streetscape improvements shall be completed at the time of construction. The applicant may request deferral of the streetscape improvements if installation of the improvements at the time of development will negatively impact the continuity of the block. Such requests shall be reviewed by the Design Review Committee. If approved, the applicant shall file with the City a surety bond in the amount of one hundred ten percent (110%) of the estimated cost of the improvements as determined by the Planning and Development Services Department. Such bonds shall be filed for one (1) year from the date of approval of the request. If the improvements cannot be installed within the one (1) year time frame, the applicant may request the period of construction be extended for one (1) year, with a maximum of two (2) such extensions granted. As part of the extension request(s), the applicant shall adjust the bond to reflect revised construction costs. If improvements cannot be installed within three (3) years from the date of approval solely due to ACHD requirements, the bond shall be returned to the applicant.
- B. Building/Structure Setbacks:
1. Downtown Corridor: The setbacks of the zone shall apply, except that there shall be a 25’ setback from property line along Capitol Boulevard starting 45’ above street level.
 2. Central Corridor: 45’ setback from the centerline of Capitol Boulevard for structures less

than 45' in height. 75' setback from the centerline of Capitol Boulevard for structures starting 45' above street level. No building, or portion thereof, shall encroach into the public right-of-way, with the exception of approved awnings, canopies or similar projections.

3. Entrance and Exit Corridors: 20' setback from property line along Capitol Boulevard for structures less than 45' in height. 35' setback from property line along Capitol Boulevard for structures starting 45' above street level.

C. Requirements Within Setback Areas at Grade:

1. Downtown Corridor - No building setback is required at grade level per Section 11-7-9.5B above.
2. Central Corridor - The setback area shall be improved consistent with the requirements outlined in A(2) above
3. Entrance Corridor and Exit Corridor - The setback area shall include landscaping, and one or more of the following:
 - a. An extension of the streetscape, such as a pedestrian space or a plaza utilizing benches, pavers and other design elements;
 - b. Sculptures or other architectural design features;
 - c. Canopies and other external decorative features, provided they do not encroach more than 30% of the remaining setback area after the requirements of Section A(4) have been met;
 - d. Sign(s) if approved; and
 - e. Low decorative masonry walls.

D. Other Setbacks: Side streets, interior sides and rear yard setbacks shall be in accordance with those specified for the underlying zone.

E. Exceptions: Minor setback exceptions such as overhangs, stairways, etc. shall be allowed as outlined under the Boise City Code.

F. Parking Lot Setbacks and Requirements:

1. For all new detached stand-alone structures and parking lots along Capitol Boulevard as described under Section 11-7-9.4C, parking lots shall be as outlined below:
 - a. In the Downtown Corridor: Parking lots shall be located below or behind buildings facing Capitol Boulevard.
 - b. In the Central, Entrance and Exit Corridors: Parking is allowed along the sides of the building provided the width of the parking area does not exceed 50% of the property frontage along Capitol Boulevard. Parking cannot be closer to Capitol

Boulevard than the building itself, and in no case shall be allowed closer than 20' from the Capitol Boulevard property line.

2. Existing Surface Parking Lots/Drives: Where existing paving abuts the Capitol Boulevard property line, features such as raised planters and low decorative masonry walls are encouraged. If remodels or additions are proposed to existing structures along Capitol Boulevard as described under Section 11-7-9.4A, B and D, then parking lots must be well-screened with a minimum 7' wide landscape area.
 3. Screening for all Parking Lots: All parking lots shall be screened through use of one or more of the items listed below, unless otherwise approved by the Design Review Committee.
 - a. Decorative masonry screen walls (may include wrought iron fencing as part) at the edge of the parking area. Such walls shall be modulated so that the maximum length without modulation does not exceed 30'.
 - b. Landscape plantings that will provide year-round screening of the parking areas.
 - c. Meandering berms plus landscaping.
 - d. A combination of the above or other decorative elements to minimize the view of automobiles.
 4. Setbacks for parking/drives on all other sides of the property shall be as required by the underlying zone.
 5. All additional requirements relating to parking lots, including interior landscaping, shall be as outlined under Chapter 10, Boise City Code and the Design Review Guidelines adopted by the Design Review Committee.
- G. Buildings/Structure Height: Heights shall be in accordance with the underlying base zone. Any buildings exceeding the height limit are required to obtain Conditional Use approvals.
- H. Building Design: All buildings shall be designed to the highest standards of architecture and site planning with consideration given to the following items:
1. All building facade materials should be of high quality to enhance the appearance of Capitol Boulevard. The same facade materials, or those that are architecturally compatible with the building materials should be used for all exposed building walls and other architectural features.
 2. Architectural style is not to be restricted, however the appearance of the building will be reviewed based on the use of materials and color, the quality of design, use of architectural details and compatibility with the overall Boulevard development.
 3. Blank walls facing Capitol Boulevard are not generally allowed.
 4. Buildings located on corner sites that can be viewed from Capitol Boulevard should be given special treatment (e.g., architectural elements and special materials).

5. A distinctive roof or other termination of the building facade.
6. Building components including windows, doors, eaves and parapets should be proportional to one another.
7. New buildings that are adjacent to historic structures should be sympathetic to the existing building & site and any modifications to historic buildings shall follow the "Design Guideline for Boise City's Historic Districts" and the Secretary of the Interior Guidelines.
8. Non-illuminated canopies and awnings at street level.
9. Mechanical equipment and other such items (including satellite dishes) on the roof, ground or building, are to be well screened from public right-of-way with materials that are harmonious to the building. All screening shall be effective year-around.
10. All utilities shall be installed underground.
11. Remodels of existing facilities along Capitol Boulevard are encouraged with attention particularly given to:
 - a. Improvement of building facades facing Capitol Boulevard and intersecting streets.
 - b. Softening of existing paving that currently goes to the edge of the property with the addition of landscaping.
 - c. Screening of existing mechanical features.
 - d. Incorporation of additional landscaping on site where little or none exists.
 - e. Locating automobile parking behind the building.

I. Lighting

1. Fixtures shall be harmonious with the building design. On-site lighting shall not be excessively bright (particularly north of the river where historical street lights will be incorporated into the streetscape), however shall still promote a safe environment.
2. Bollard lighting and other low pedestrian/landscape lighting are encouraged within the development; street lighting along Capitol Boulevard shall conform to the Capitol Boulevard Streetscape Master Plan, and all other street lighting shall conform to City standards for the area.
3. Location and placement of trees shall be coordinated with Community Forestry and the City Public Works Department to reduce conflicts between street lights and trees.

J. Vehicular Access:

1. Curb Cuts shall be limited along Capitol Boulevard to encourage uninterrupted pedestrian flow along the sidewalks.
 2. Access points shall be defined with landscaping or other decorative elements.
- K. Restrictions Along Capitol Boulevard: Where allowed by the underlying zone, the following shall not be oriented to, or fronting, Capitol Boulevard unless the applicant can show that no other option is available and the item/area is designed to be compatible with the building and site design.
1. Service/off-street loading areas and trash dumpsters;
 2. Outdoor storage areas;
 3. Fuel pumps; and
 4. Drive-up windows.
- L. Maintenance: Continued quality appearance depends on the maintenance of the buildings and sites along Capitol Boulevard. Materials shall be selected for their durability as well as their aesthetic appeal. Proper measures shall be taken for protection against weather, neglect and damage.

In addition to private property owners or groups, all public agencies, quasi-governmental agencies, municipal corporations or other similar agencies or groups are responsible for proper maintenance of facilities, equipment and landscaping along and/or visible from Capitol Boulevard. Such items may include, but are not limited to: street lights, utility poles, signal boxes and other traffic equipment, equipment for telephone or other communications and electric power, public signs and landscaping.

Continued quality appearance also depends on the maintenance of the trees and landscaping along Capitol Boulevard. In addition to private property landscaping, street tree maintenance is also the responsibility of the property owner per Title 9, Chapter 16, Boise City Code.

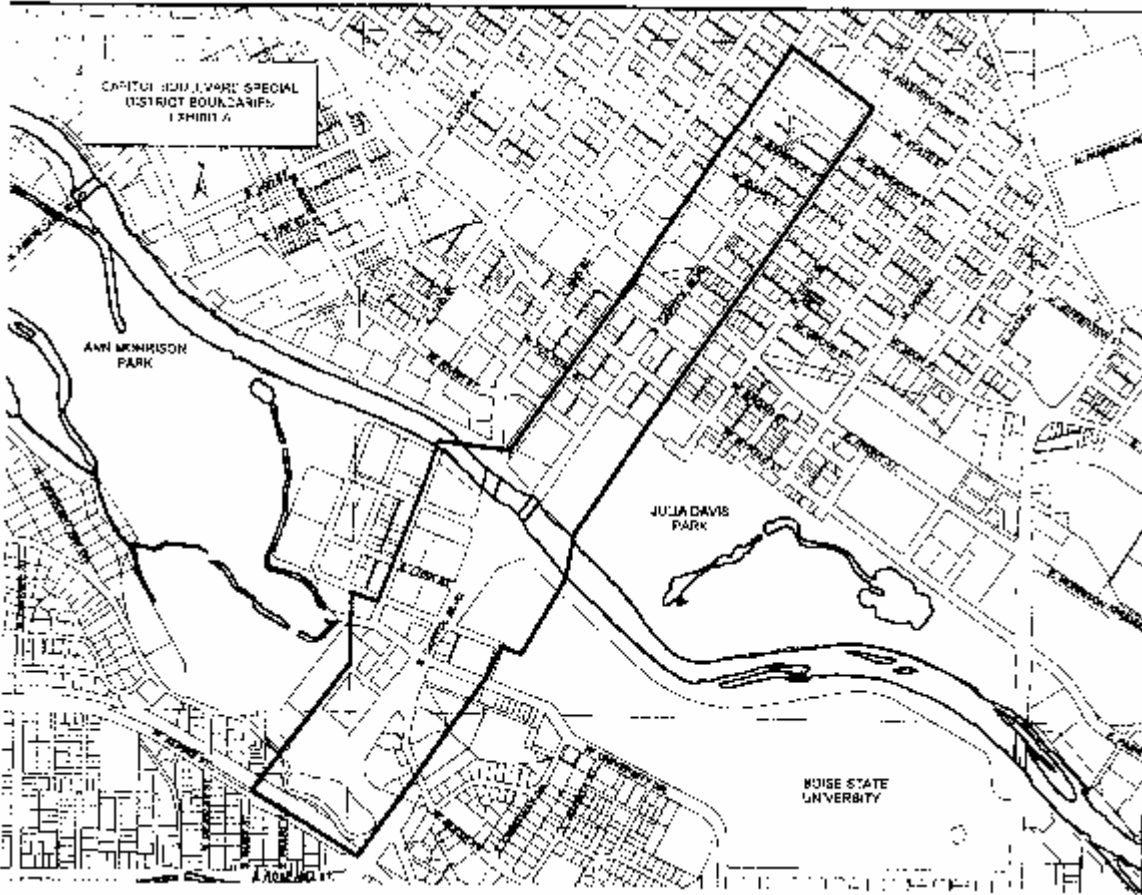
Proper measures shall be taken for protection against weather, neglect and damage.

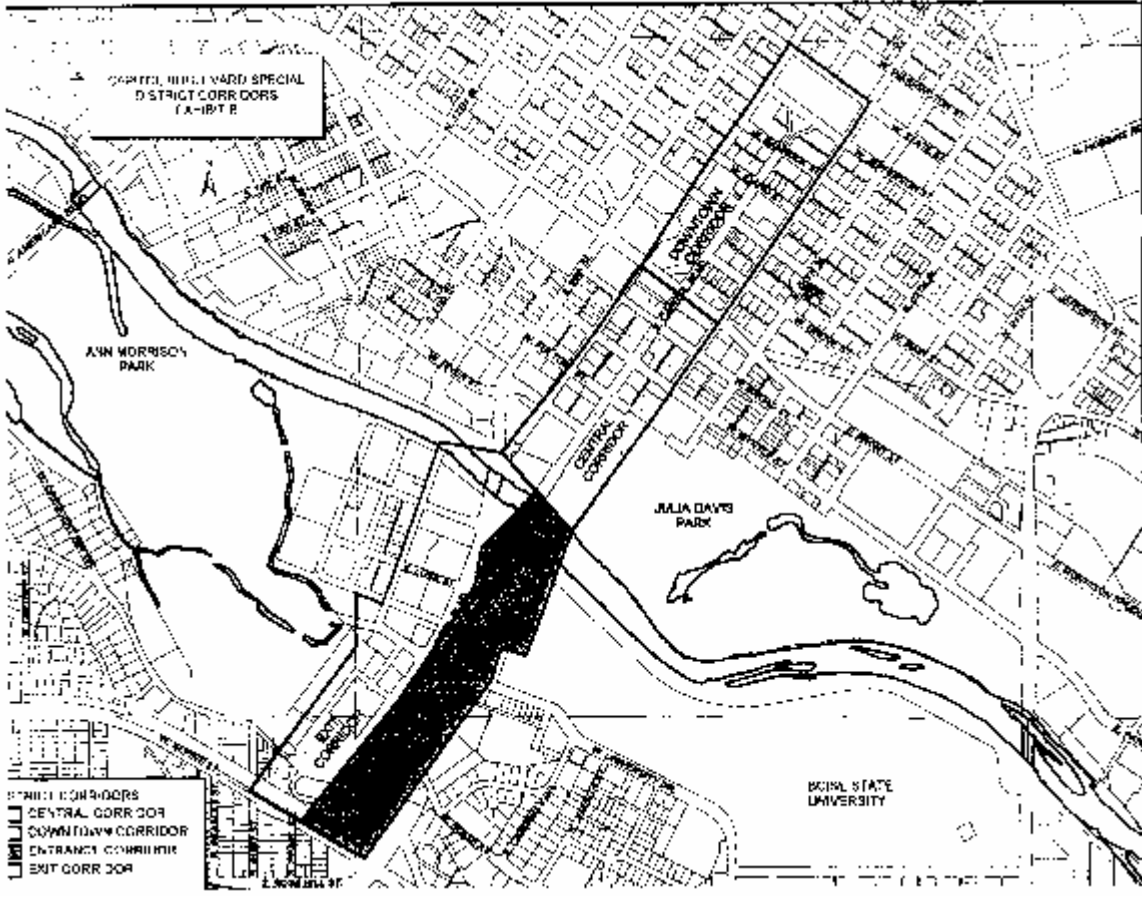
(6398, Amended, 06/14/2005; 6275, Amended, 11/25/2003; 6096, Amended, 10/23/2001; 5892, Added, 01/19/1999)

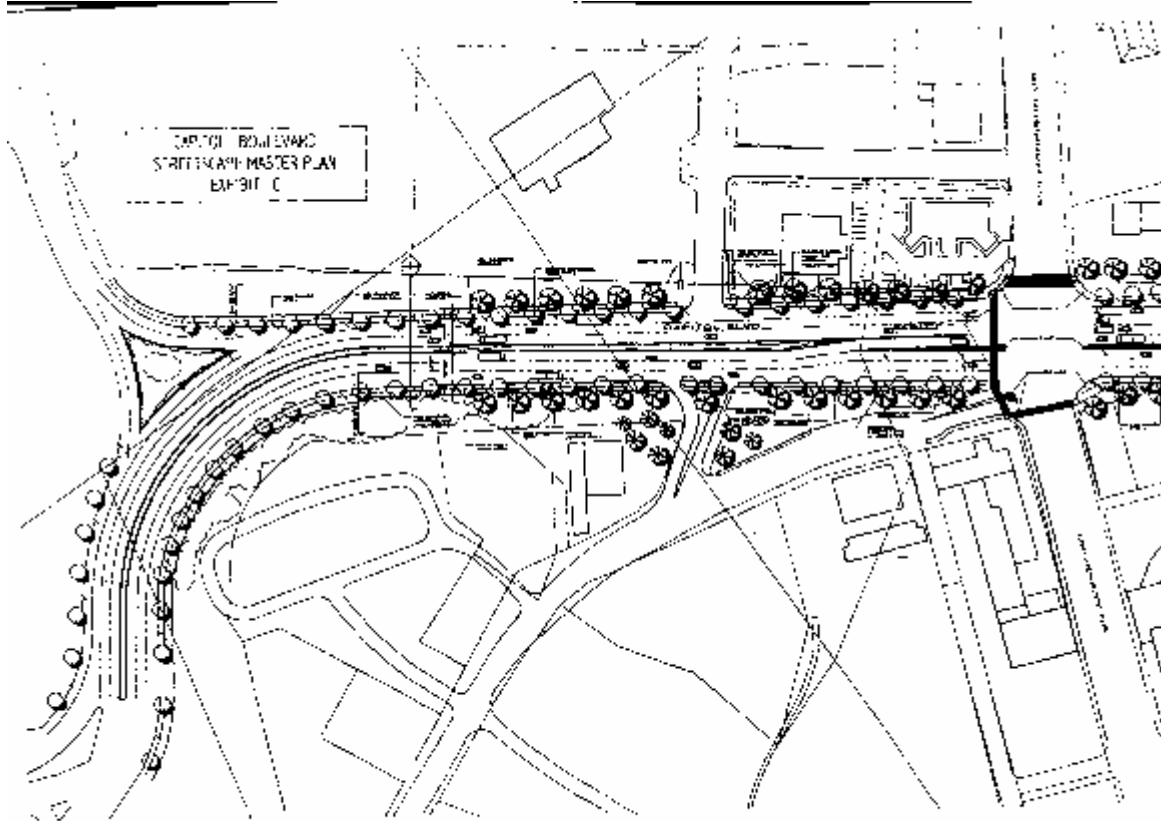
Section 11-07-09.06 Appeals

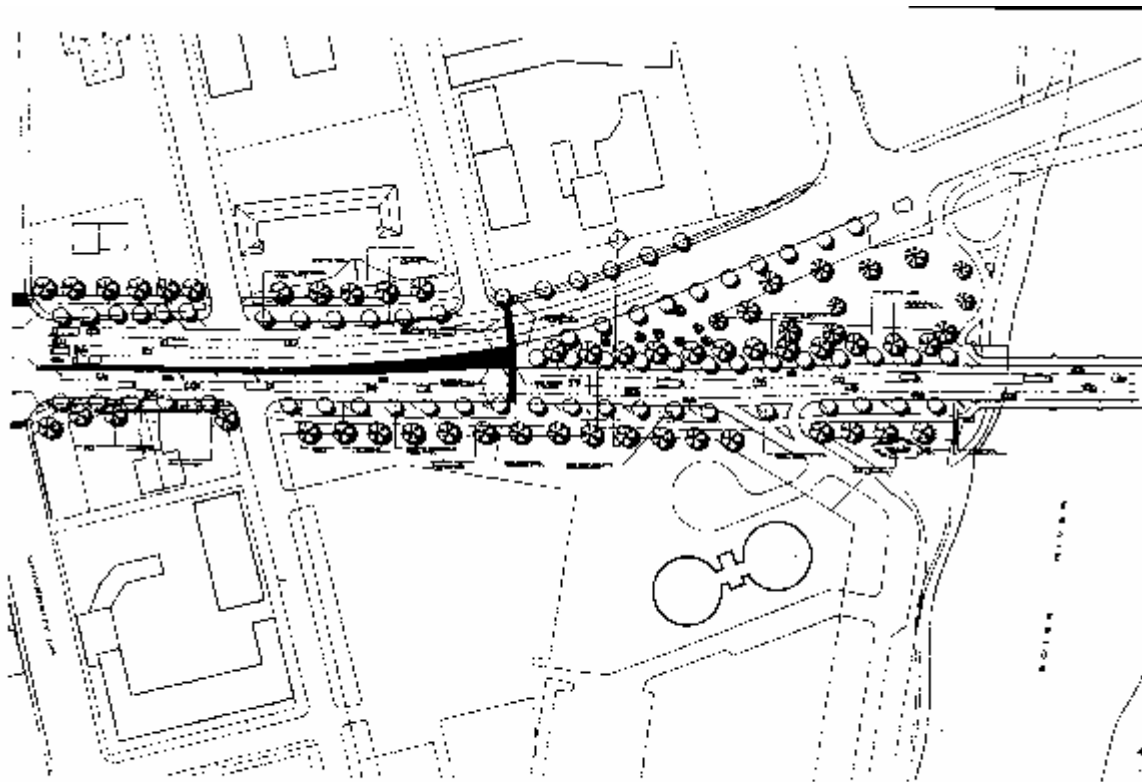
Any action of the Design Review Committee or Capital City Development Corporation may be appealed to the Planning and Zoning Commission in accordance with Chapter 3 and Chapter 7, Boise City Code. Appeals of the Historic Preservation Commission shall be made to the City Council in accordance with Chapter 3 and Chapter 7, Boise City Code.

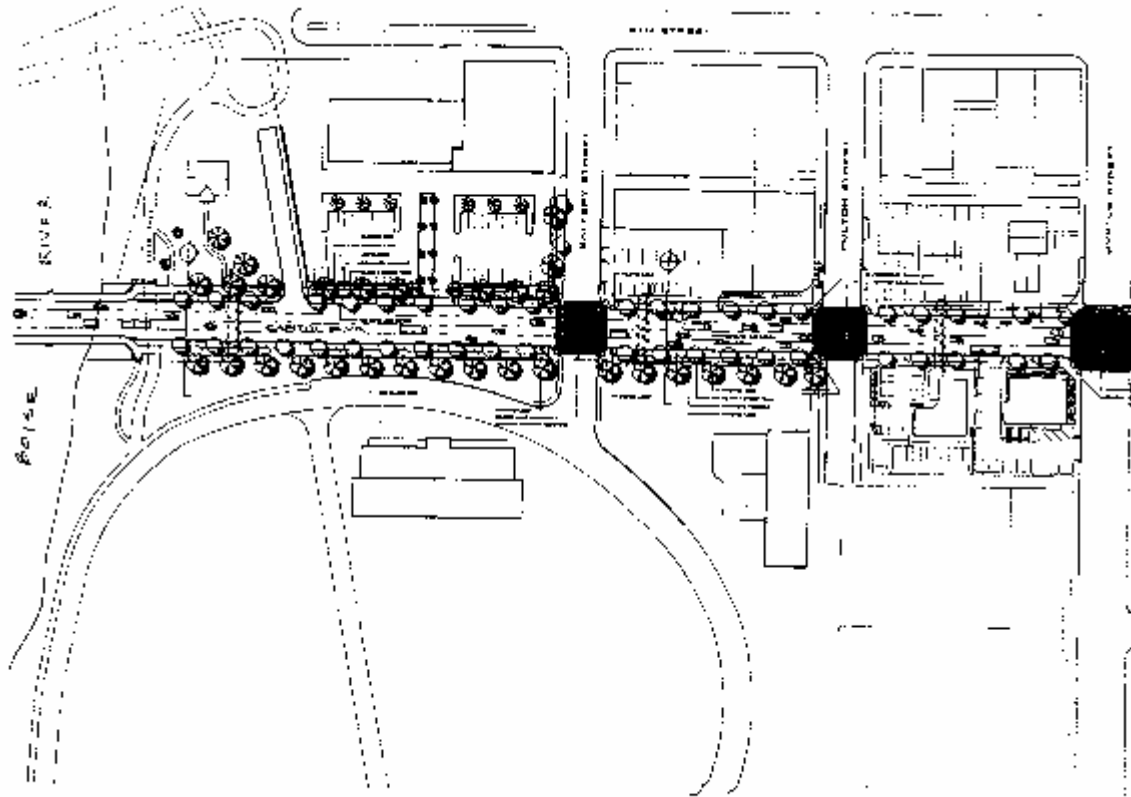
EXHIBITS

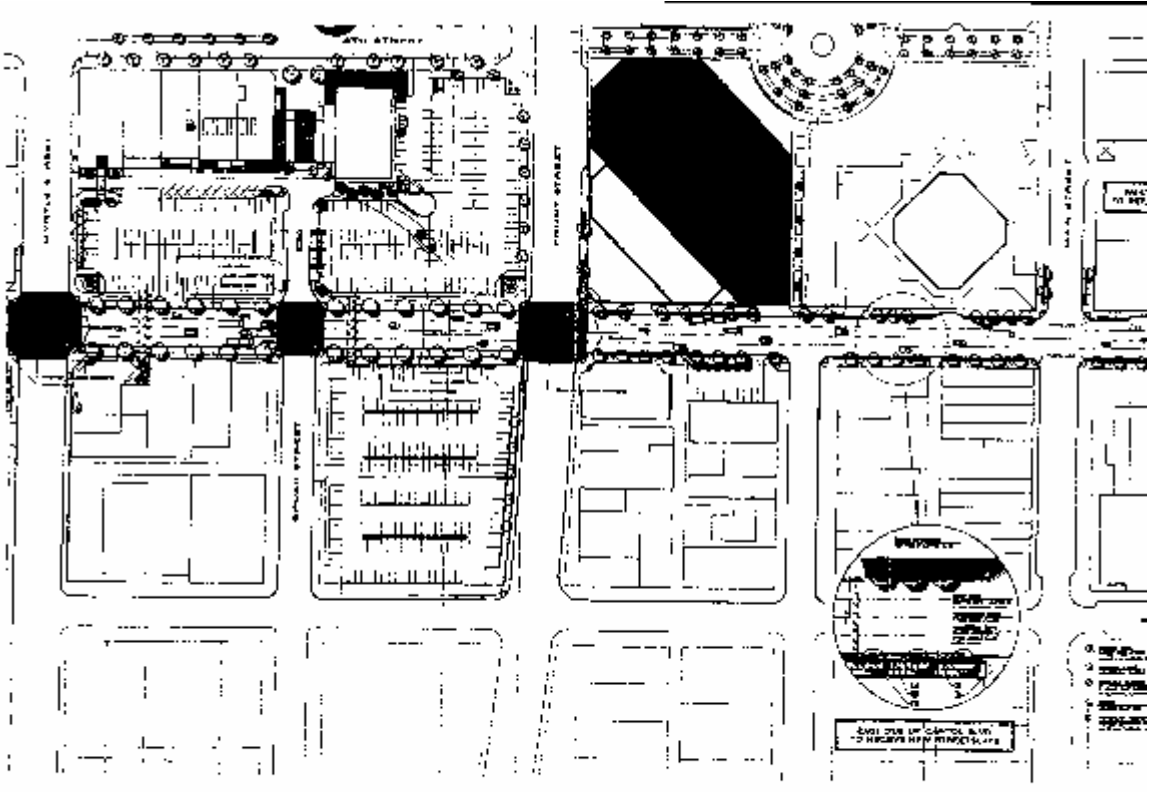


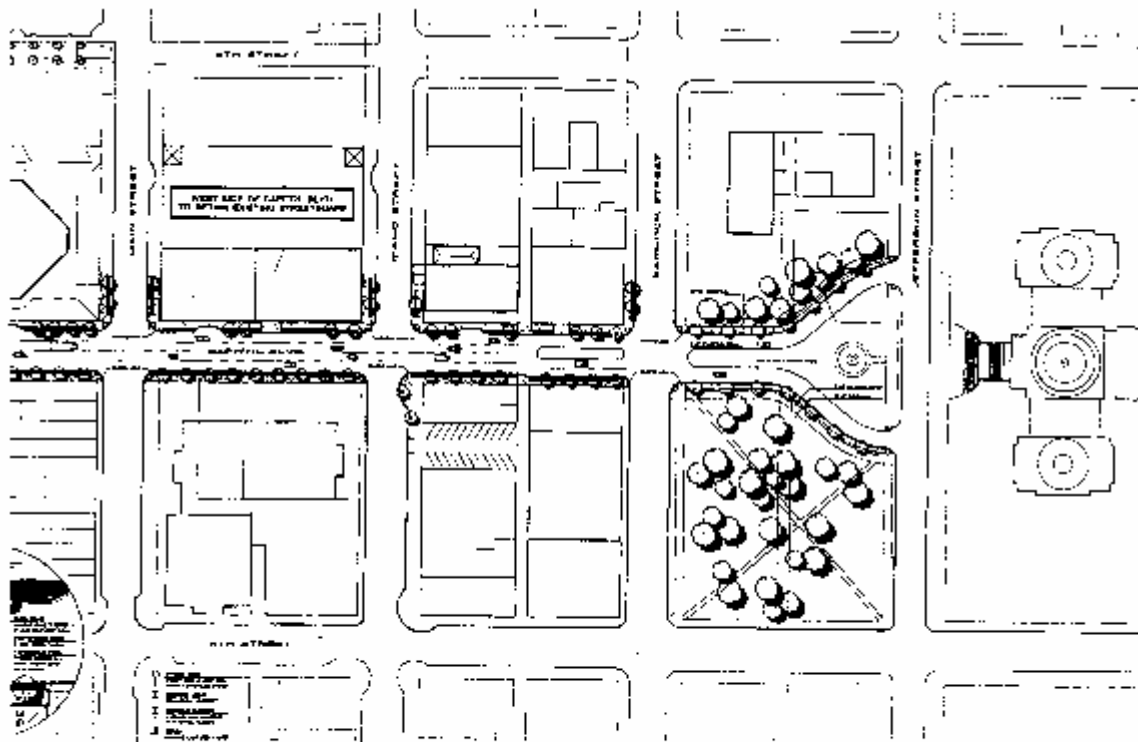


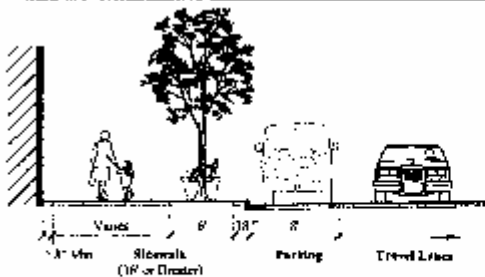




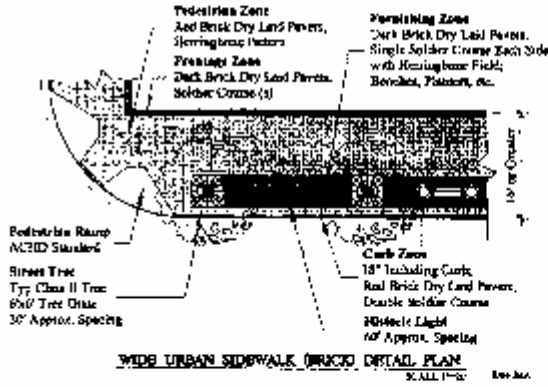








WIDE URBAN SIDEWALK (BRICK) SECTION
NOT TO SCALE

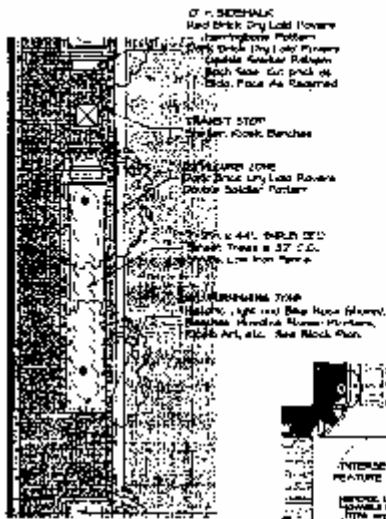


WIDE URBAN SIDEWALK (BRICK) DETAIL PLAN
SCALE 1/8"=1'-0"

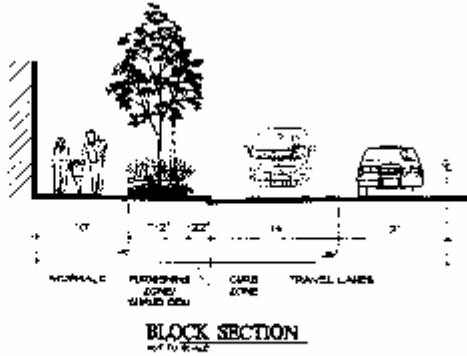
- Use appropriate selected "tree class" type suitable for confined spaces and
- Coordinate planning and installation, or areas with Public Community Forestry.

Note:

- The urban sidewalk with the 10' or greater concrete counterpart may be applied to both wide and narrow sidewalk conditions. Variations in the dimensions of the pedestrian zone, including some use with stopwater and ramps.
- Tree height and crown spread shall meet ADA County Highway clearance sight distance requirements.
- All curbside trees and improvements within the street right-of-way require a license agreement with the other forms of support by the Ada County Highway District.



DETAIL PLAN
NOT TO SCALE



BLOCK SECTION
NOT TO SCALE



TYPICAL BLOCK PLAN
SCALE 1/4" = 1'-0"

**STREETSCAPE PROTOTYPE
CAPITOL BOULEVARD SPECIAL DESIGN DISTRICT**



EXHIBIT B

EXHIBIT F

PLANT LIST
CAPEOL BULEVARD-BATTERY TO FRONT STREETS
Moore City and Capital City Development Corporation

11/04 JBA

STREET TREES

Muscata Sweetgum

Size: 25' x 40' in. Plant 4" Caliper B&B.
Use: Street tree. Locate on both sides of street, between Battery and Front Streets, in curbside shrub beds at 32' spacing.
Description: Hardy deciduous street tree with ascending pyramidal habit; medium green leaf turns multiple red-orange-purple colors in the Fall.

SEMI-BLANK GROUND COVER

Carefree Sunshower Rose

Size: 3' x 3' in. Plant 3-gal. on container
Use: Flowering accent shrub. Locate on both sides of street, between Battery and Fulton Streets, in a row within linear curbside planter at 3' spacing.
Description: Hardy flowering deciduous shrub; ascending habit; everblooming deep to former yellow blossoms from June to October; early medium green foliage.

Maria Beugel Rose

Size: 3' x 3' in. Plant 3-gallon container.
Use: Flowering accent shrub. Locate on both sides of street, between Battery and Front Streets, in a row within linear curbside planter at 3' spacing.
Description: Hardy flowering deciduous shrub; ascending habit; small snow-white flower clusters Spring to Fall; light green foliage turning olive in compact and stems.

Carefree Beauty Rose

Size: 3' x 3' in. Plant 3-gallon container.
Use: Flowering accent shrub. Locate on both sides of street, between Broad and Front Streets, in a row within linear curbside planter at 3' spacing.
Description: Hardy flowering deciduous shrub; ascending habit; everblooming double pink flowers, olive green foliage and orange rose hips in the Fall.

Baltic Ivy

Size: 12"-18" in; spreading. Plant 1-gallon container.
Use: Groundcover; edge clipped to fill curbside planting beds on both sides of street, between Battery and Front Streets, contained by low ornamental steel fence.
Description: Low, spreading, hardy evergreen groundcover; small bright green new growth, turning rich green, with whitish veins; then turning purplish in Winter.

ANNUAL FLOWERS

Migratable Sidewalk Planters

Use: Footcote accents in corners and intermittent furnishing area locations.
Description: Mixed annual, perennial and ornamental grass arrangements in 3' round concrete planters. Regular hand watering and maintenance.

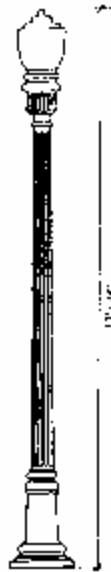
STREETSCAPE FURNISHINGS

EXHIBIT G

1. LIGHTING FIXTURES

Feet-top lighting fixtures are placed in the pedestrian furnishing zone at specified intervals of five (5) per block.

The approved historic Swiss cast aluminum light poles shall be used. Poles shall be equipped with durable burner brackets. Powder-coat RAL 6009, dark green. Install in accordance with Boise Public Works standards, and connect to city lighting circuit.



Single globe pole, elevation

STREETSCAPE FURNISHINGS

EXHIBIT G

2. BENCHES

Benches are used as prescribed in the pedestrian furnishing zone. Benches shall be 6 feet length, cast iron, model CR 10 Classic Series Bench, by Victor Stanley, Inc., 1-800-368-2574. Cast iron shall be Powder-coat RAL 6005, dark green. Benches shall be anchored using the Hilti Injection Technique Anchor Program, or approved equal. A 9/16-inch diamond tip bit on a rotary drill and 1/2 inch by 7 inch plated stainless steel carriage bolts are required.



Bench, side elevation



Bench, front elevation

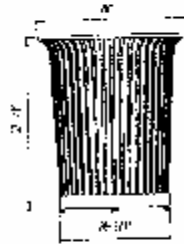
STREETSCAPE FURNISHINGS

EXHIBIT G

3. LITTER RECEPTACLES

Litter Receptacles are placed near transit stops, and pedestrian crossings.

Litter Receptacles shall be PRS-36, 36 gallon, steel litter receptacles by Victor Stanley, Inc., 1-800-668-2673, Towerson, WI 53099, Dark green.



Litter Receptacle, elevation

STREETSCAPE FURNISHINGS

EXHIBIT G

4. MOVABLE PLANTER

Movable planters are used as prescribed in the pedestrian furnishing zone for seasonal color display, and as a protective device from vehicles.

Movable planters shall be cast concrete by Dorn Art Stone, 1-800-821-1120; Color: V, light sand blast, color S 6 Brush Brown. Size: 4-foot round by 17 inches high at corners, and 3-foot round by 17 inches high at mid block locations.

The planters will require special planting mix, annual planting, and regular maintenance including manual watering.



Movable planter, elevation

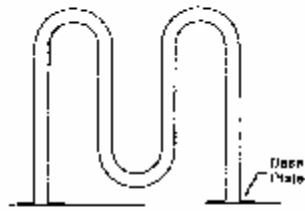
STREETSCAPE FURNISHINGS

EXHIBIT G

5. BIKE RACK

Bike racks are located in the pedestrian furnishing zone at central locations for the convenience of bicyclists.

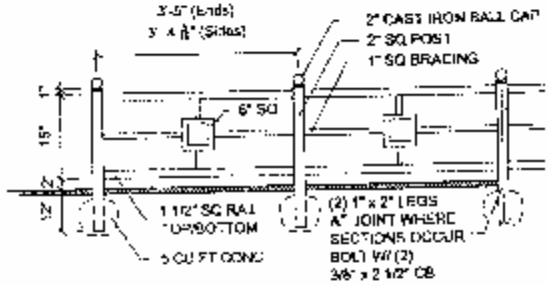
Bike rack shall be "Ribbon Rack", direct buy, as provided by Pacific Steel Fabricators, 208 362 0098; or equal. Powdercoat RAL 6009, dark green.



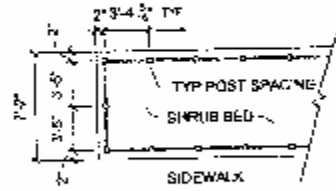
Bike Rack, elevation

6. STEEL RAIL.

Railings are to surround shrub beds located in furnishing zone.
 All members shall be 10# tube steel, unless noted, with
 joints being fully welded and ground smooth. Sand blast and
 powdercoat all finish products with RAL 6009, dark green.
 Do not weld after powdercoat.



END ELEVATION

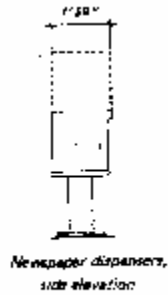
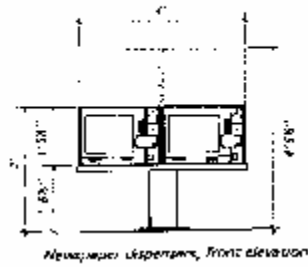


PLAN

7. NEWSSTANDS/NEWSPAPER DISPENSERS

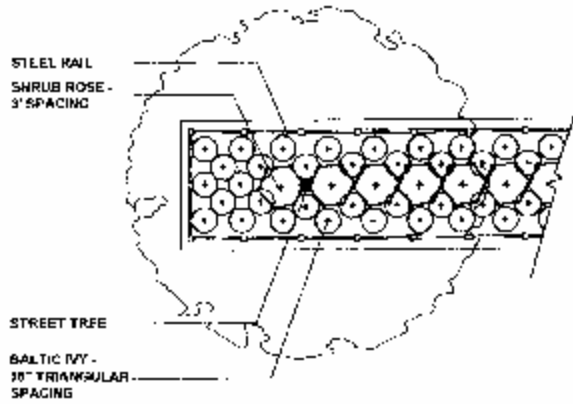
Newspaper dispensers shall be located near intersections and transit facilities. A metal dispenser pedestal-type unit shall be used.

Dispensers shall be the "Sho-Rack" model "K-207" or "TK-1407" as manufactured by Kanger Wire Works, Sliner, Texas, or as approved. Powdercoat RAL 6009, dark green.

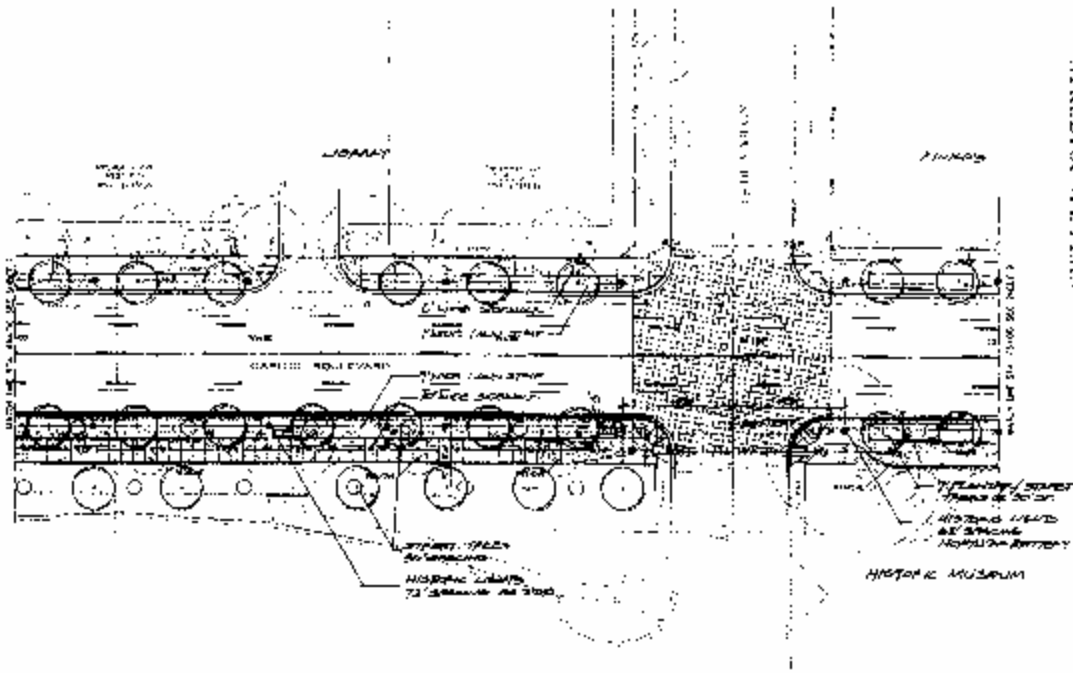


8. SHRUB PLANTING

The required shrub and groundcovers shall be planted in the spacing and pattern as shown on this detail plan. Refer to the Plant List for the required plant species and size.



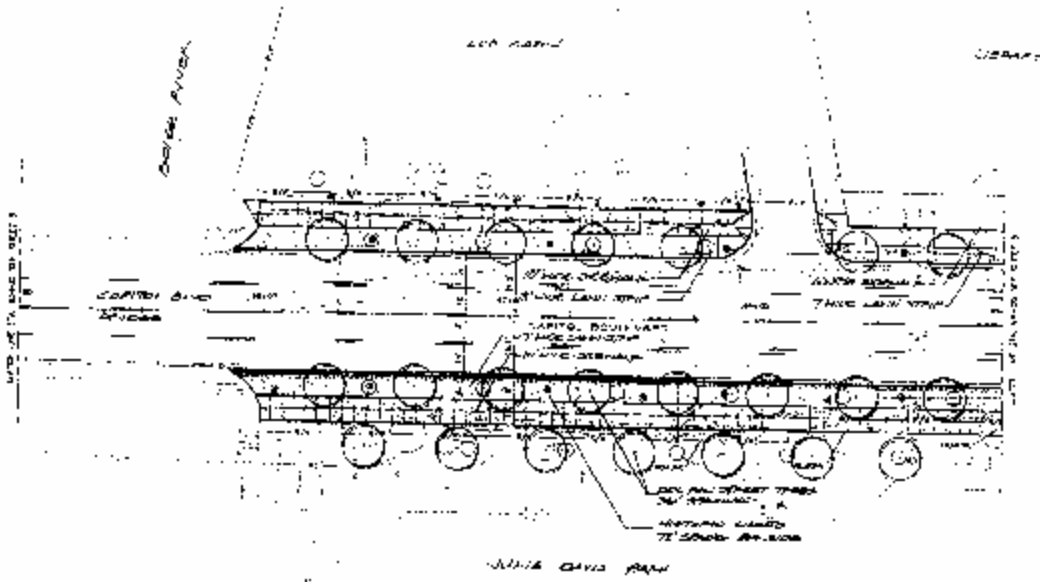
DETAIL PLAN



STREETSCAPE PLAN

EXHIBIT II

**STREETSCAPE PLAN
SOUTH OF RIVER STREET**



STREETSCAPE PLAN

EXHIBIT II

**STREETSCAPE PLAN
SOUTH OF RIVER STREET**

(6398, Amended, 06/14/2005; 5892, Added, 01/19/1999)

Section 11-07-10 HISTORIC STREET LIGHTS

This ordinance establishes the criteria for Historic Street Light Districts, to include location, standards for installation and the type of fixture to be installed.
(6470, Added, 05/23/2006)

Section 11-07-10.01 District Locations

The following areas may be considered appropriate locations for improvement with historic street lights: Gateway streets, Historic Districts, Conservation Districts, any area located within the Downtown Plan, and any other areas with historic character.
(6470, Added, 05/23/2006)

Section 11-07-10.02 Criteria for Requesting a New or Expanded Historic Light District

Request for inclusion in a Historic Street Light District shall be made in writing to Boise City Public Works (BCPW) and the Planning and Development Services Department (PDS). The request will be forwarded to the Public Works Commission (PWC) and the Design Review Committee (DRC) for their recommendation to City Council.

The decision to make an area into a Historic Street Light District will be based on the following:

1. Appropriateness of location based on Section 11-07-10.01
 2. Source and availability of funding of initial installation (Both City and outside funding sources)
 3. Source and availability of funding for continued maintenance
- (6470, Added, 05/23/2006)

Section 11-07-10.03 Installation and Maintenance Criteria

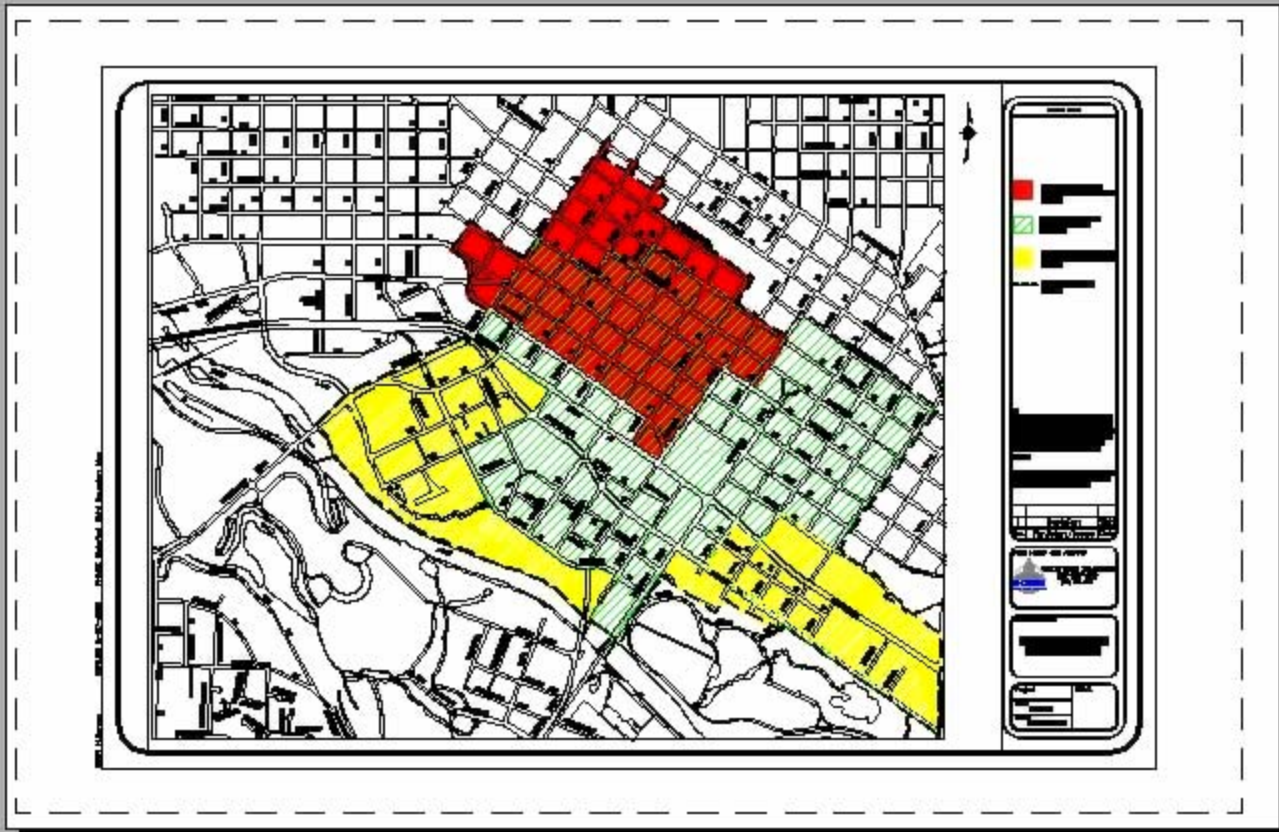
All installations shall be installed and paid for by the developer of the project, shall meet current Boise City Public Works standards and be approved and inspected by Boise City Public Works. If the installation is not associated with a specific development, the applicant shall contract the work with technical assistance provided by Boise City Public Works. Upon completion and successful inspection, Boise City Public Works will accept ownership of the lights and assume responsibility for operation and maintenance costs.

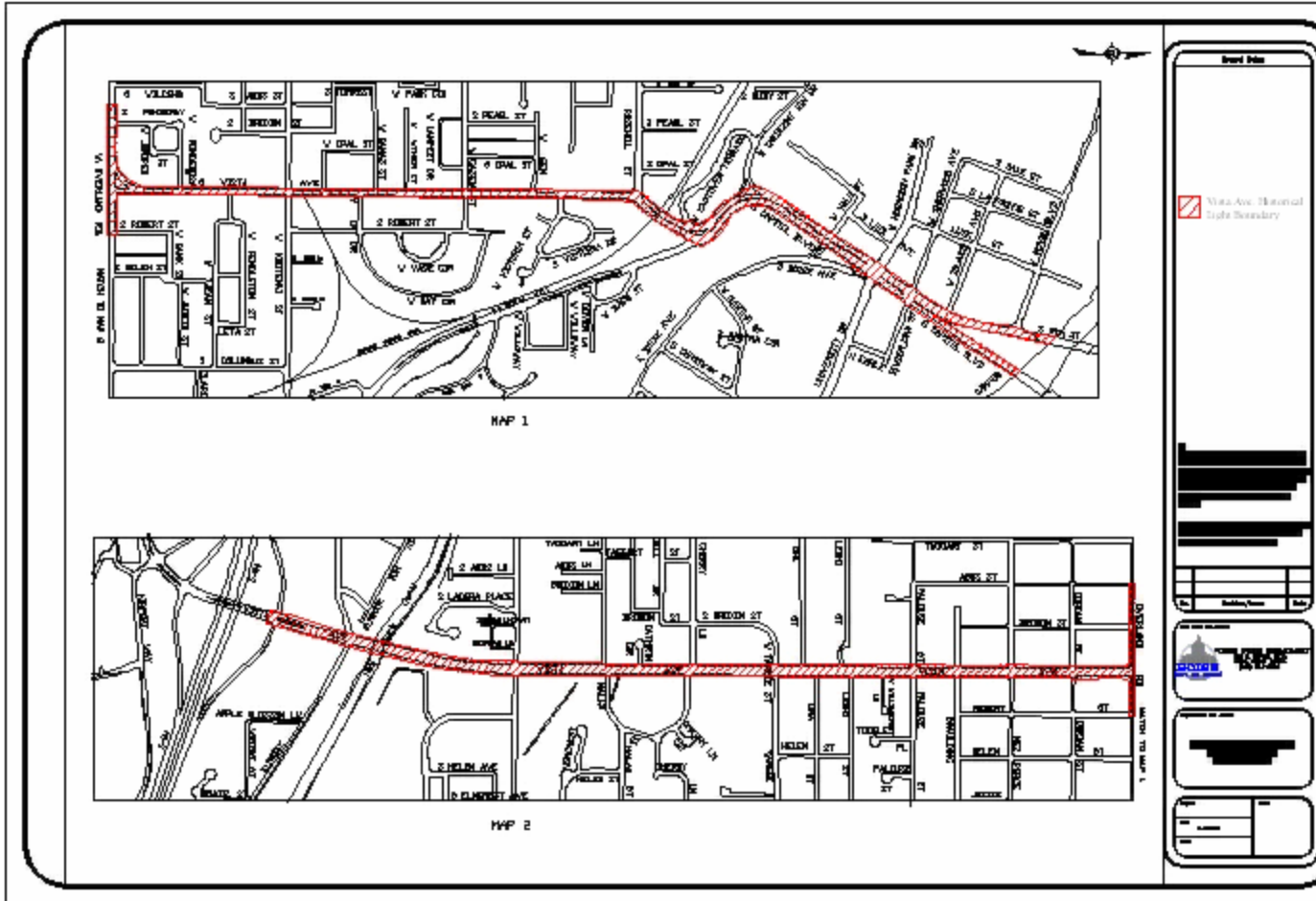
(6470, Added, 05/23/2006)

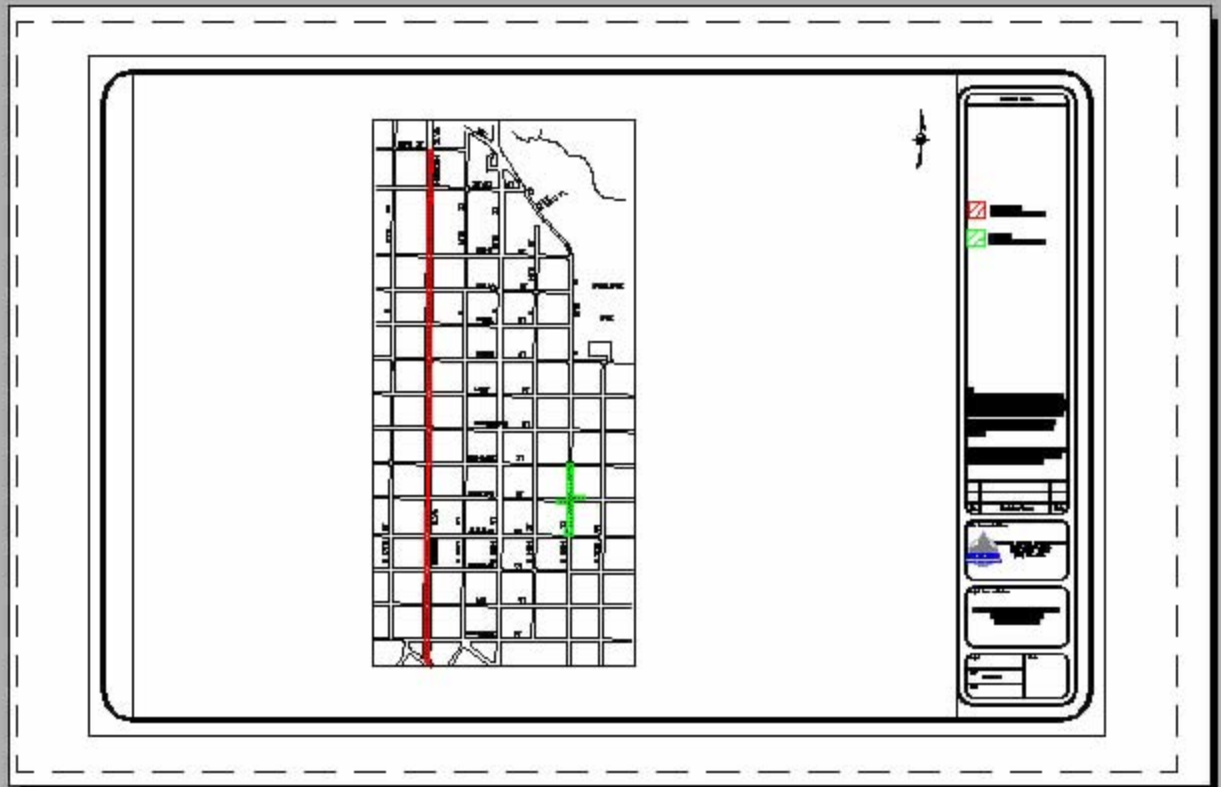
Section 11-07-10.04 Established Lighting Districts

The following are current Historic Street Light Districts. Maps of each district are attached as exhibits to this document which show exact locations of districts:

1. Vista
2. Hyde Park
3. Warm Springs
4. Downtown
5. Harrison Boulevard







(6470, Added, 05/23/2006)

Section 11-07-10.05 General Spacing Requirements

The spacing standards for each Historic Street Light District are listed below. These standards set forth general location requirements only; exact locations will be determined in consultation with Boise City Public Works staff. Generally, historic street lights shall be located to match the street light on the opposite side of the street. When a District is fully built out, historic street lights shall be replaced to maintain the current location.

District location requirements:

Downtown District: set standard, as adopted by latest approved CCDC (Capitol City Development Corporation) design standards;

Vista Avenue District: three lights per block, evenly spaced along street;

Harrison Boulevard District: lights shall be located at either end and center island;

Hyde Park District: 65' - 75' spacing, both sides of the street;

Warm Springs District: three lights per block, evenly spaced along street.

(6470, Added, 05/23/2006)